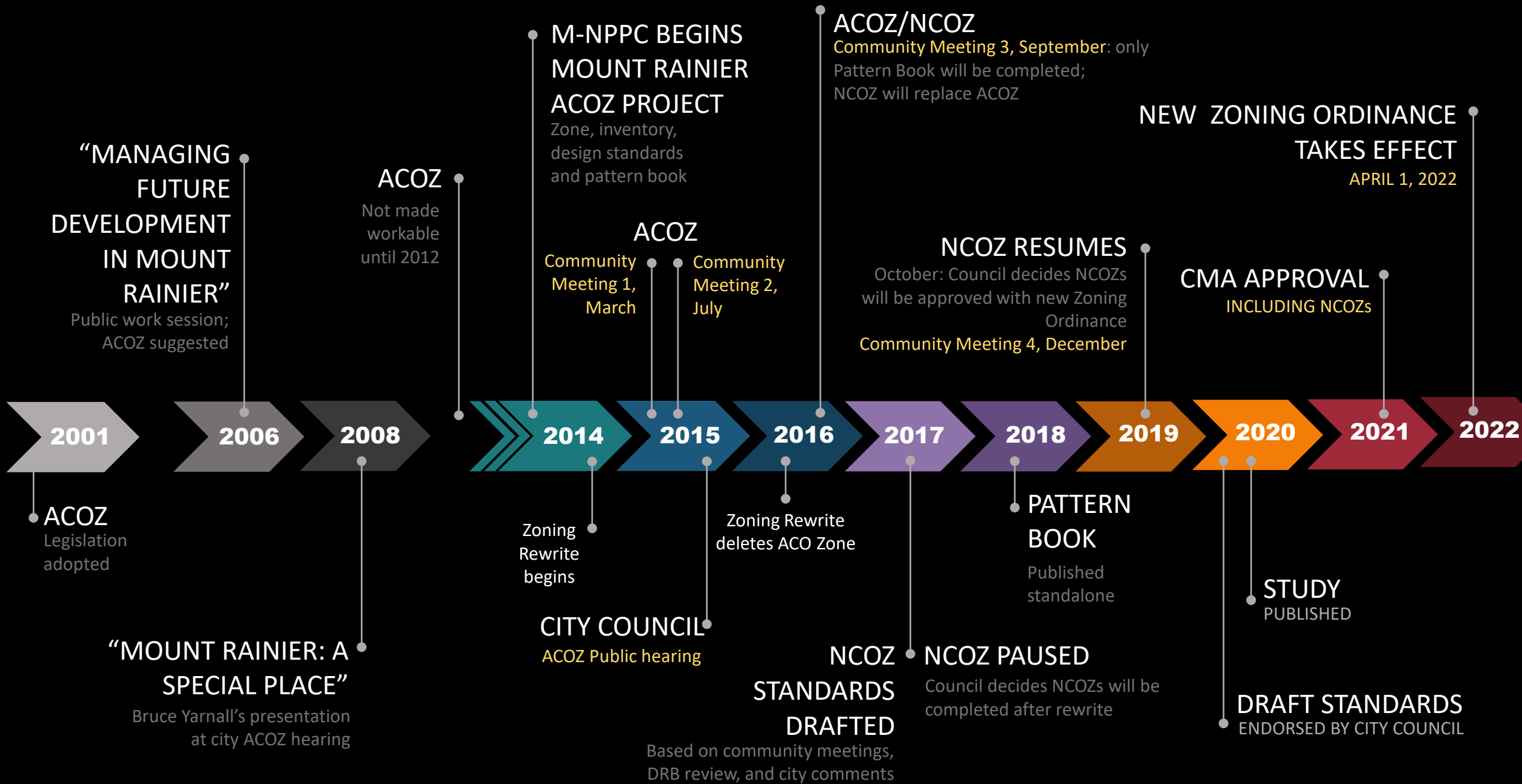




# MOUNT RAINIER

## Neighborhood Conservation Overlay Zone

 MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
Prince George's County Planning Department



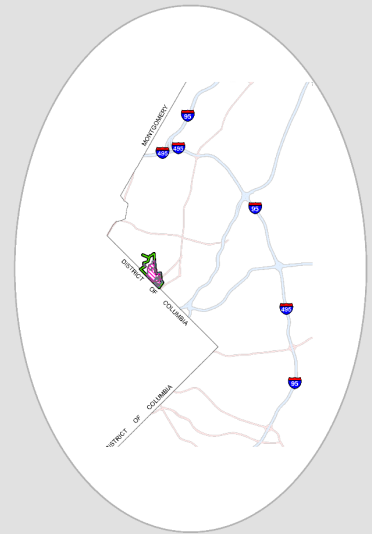
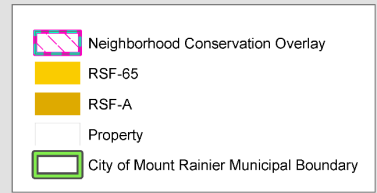
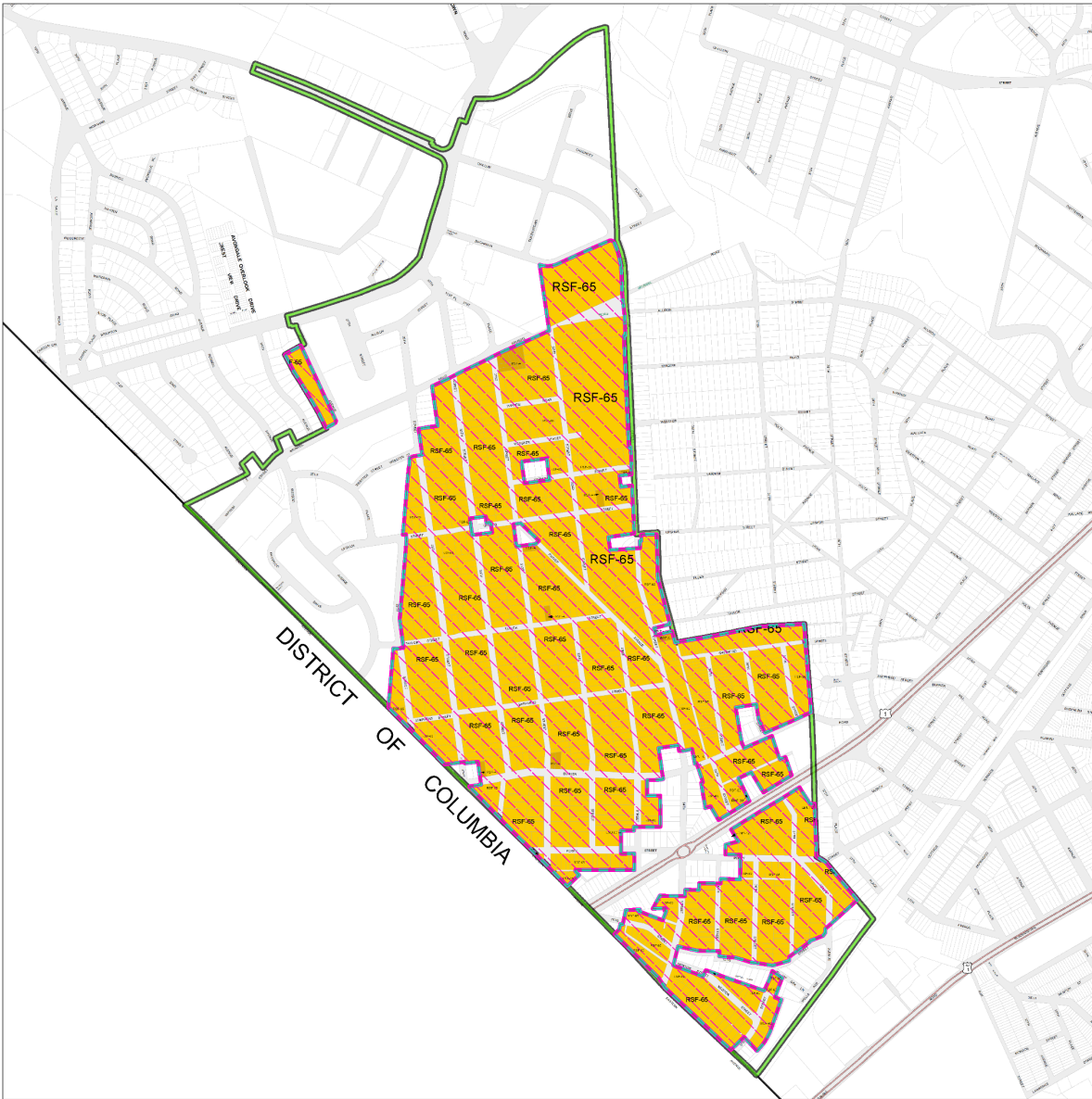
The Mount Rainier Neighborhood Conservation Overlay Zone  
Standards are found in Section 27-4403(a)(5)(B)  
of the Prince George's County Zoning Code

[Home | Zoning Ordinance, Subdivision Regulations, & Landscape Manual \(Effective 4/1/2022\) \(encodeplus.com\)](#)

The purpose of the Mount Rainier NCO Zone is to aid in preserving the character of Mount Rainier's existing residential neighborhoods and buildings. This is accomplished by establishing standards for form, massing and composition, lot area, height, fenestration, porches, materials, and accessory structures associated with the following principal use types: dwelling, single-family detached; dwelling, two-family; dwelling, three-family; and dwelling, townhouse; within the incorporated City of Mount Rainier to ensure building patterns that are consistent and compatible with existing development.

27-4403(a)(5)(B)(i)

## Neighborhood Conservation Overlay (NCO) Zone Mount Rainier, MD

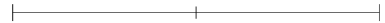


The boundaries of the  
Mount Rainier  
NCO Zone  
are identified on the  
Official Zoning Map.

27-4403(a)(5)(B)(ii)(aa)



0                      0.25                      0.5 Miles



Date Map Updated: 4/4/2022  
Job ID: 13175

This map may not be reproduced, stored in a retrieval system, or transmitted by any form, including electronic or by photo reproduction, without the express written permission of The Maryland-National Capital Park and Planning Commission. For more information, contact the Prince George's County Planning Department in Upper Marlboro, Maryland.

The following development is prohibited:

27-4403(a)(5)(B)(ii)(bb)

Enclosure of existing front porches or wraparound porches by any method other than screening.

27-4403(a)(5)(B)(ii)(bb)(I)

Enclosure of existing carports.

27-4403(a)(5)(B)(ii)(bb)(II)



CARTOON: MICROSOFT® POWERPOINT®

The following development shall be exempt from the standards of the Mount Rainier NCO Zone:

27-4403(a)(5)(B)(ii)(cc)



Development on property listed as a Historic Site, Historic Resource  
or Historic District under Subtitle 29: Historic Preservation  
Ordinance, of the County Code;

27-4403(a)(5)(B)(ii)(cc)(I)



PHOTO: M-NCPPC

Nonresidential development otherwise permitted in the underlying zones;  
27-4403(a)(5)(B)(ii)(cc)(II)



L-R; ST, JAMES ROMAN CATHOLIC CHURCH, MOUNT RAINIER UNITED METHODIST CHURCH, TRINITY EVANGELICAL LUTHERAN CHURCH; SOURCE: M-NCPPC

## Routine repair and maintenance as defined in Section 27-2500, Definitions;

27-4403(a)(5)(B)(ii)(cc)(III)

### **Routine repair and maintenance**

Activities that do not require a building permit, that are associated with regular (e.g., daily, weekly, monthly, etc.) or general upkeep of a building, parking lot or parking facility, signage or open space, equipment, machine, plant, or system against normal wear and tear that maintain the asset's functionality and preserve value.

Section 27-2500, Definitions. SOURCE: PRINCE GEORGE'S COUNTY ZONING ORDINANCE

Any alteration of or renovation to a residential principal structure that does not increase the height or expand the footprint of the existing structure;

27-4403(a)(5)(B)(ii)(cc)(IV)



IMAGE: MOUNT RAINIER PATTERN BOOK (2018, M-NCPPC)

Any alteration of or renovation to an existing residential accessory structure that complies with the regulations of Subsection 27-4403(a)(5)(B)(iii)(cc) of the Mount Rainier Neighborhood Conservation Overlay Zone Standards; and

27-4403(a)(5)(B)(ii)(cc)(V)

Construction of a new accessory structure that complies with the regulations of Subsection 27-4403(a)(5)(B)(iii)(cc) of the Mount Rainier Neighborhood Conservation Overlay Zone Standards.

27-4403(a)(5)(B)(ii)(cc)(VI)

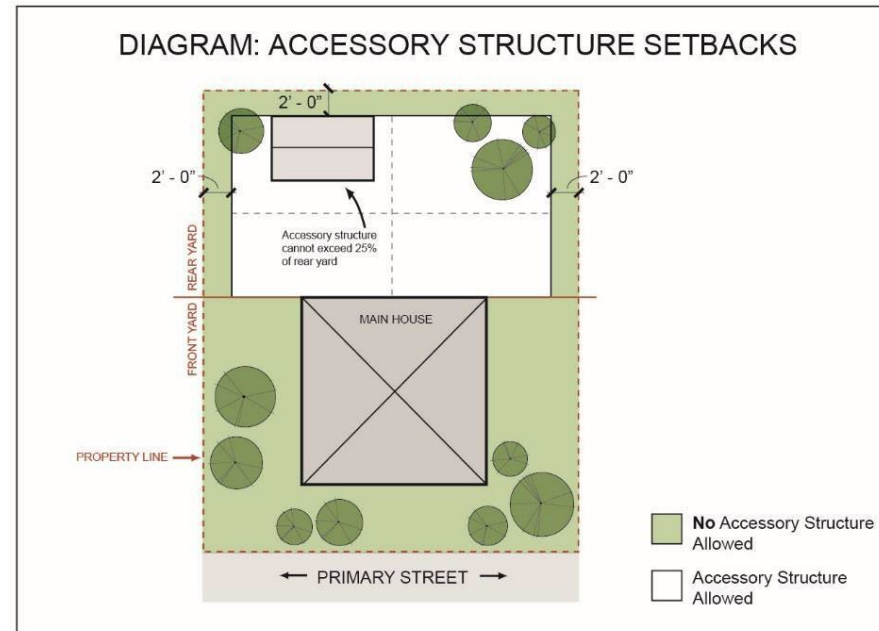


Figure 27-4403(a)(5)(B)(iii)(cc), Accessory Structure Setbacks. SOURCE: PRINCE GEORGE'S COUNTY ZONING ORDINANCE

The following principal use types are subject to the Mount Rainier NCO Zone and shall comply with the standards in this Subsection 27-4403(a)(5)(B):

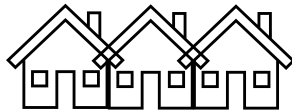
27-4403(a)(5)(B)(ii)(dd)



Dwelling, single-family detached 27-4403(a)(5)(B)(ii)(dd)(I)



Dwelling, two-family 27-4403(a)(5)(B)(ii)(dd)(II)



Dwelling, three-family; and 27-4403(a)(5)(B)(ii)(dd)(III)



Dwelling, townhouse 27-4403(a)(5)(B)(ii)(dd)(IV)

# Development Standards

27-4403(a)(5)(B)(iii)

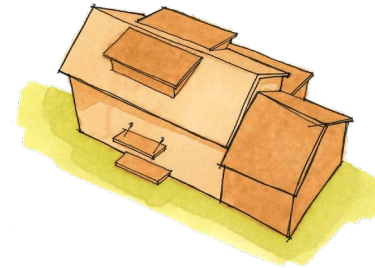
# Siting, Massing and Composition

27-4403(a)(5)(B)(iii)(aa)



# New street-facing attached garages are prohibited.

27-4403(a)(5)(B)(iii)(aa)(I)



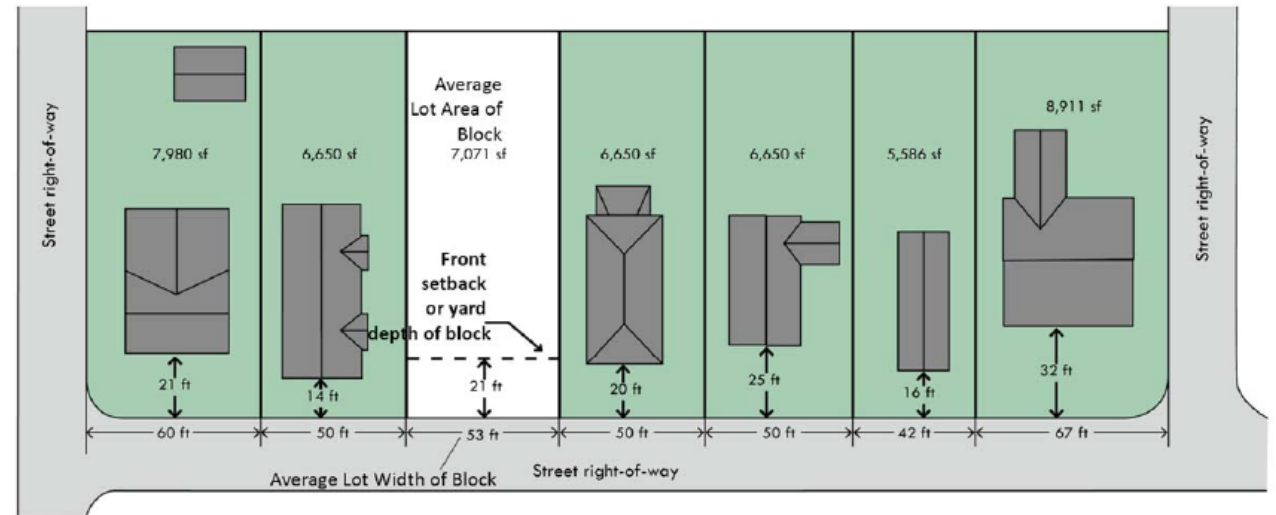
IMAGES: MOUNT RAINIER PATTERN BOOK (2018, M-NCPPC); CARTOON: MICROSOFT® POWERPOINT®

Front setbacks for all new dwellings shall be located in accordance with Section (b),  
Reduction of Minimum Front Setbacks to Block Face Average.

27-4403(a)(5)(B)(iii)(aa)(II)

**Reduction of Minimum Front Setbacks  
to Block Face Average**

If the average front setback on improved lots located on the same block face and in the same zone is less than the minimum front setback applied to a lot by the standards in Part 27-4: Zones and Zone Regulations, the minimum front setback applicable to a lot on the block face shall be reduced to such average. Calculation of the average shall exclude any front setback that exceeds the next deepest setback by more than 15 feet.



SOURCE: FIGURE 27-2202<sup>2</sup>: REDUCTION OF MINIMUM LOT AREA, LOT WIDTH, AND FRONT SETBACK OR YARD DEPTH TO BLOCK FACE AVERAGE, PRINCE GEORGE'S COUNTY ZONING ORDINANCE

The maximum area of impervious surface in the front yard shall not exceed 20 percent of the front yard area. **Under no circumstances may impervious or pervious surfaces intended for vehicle parking be located between the front façade of the dwelling and the street.**

27-4403(a)(5)(B)(iii)(aa)(III)



IMAGE: MOUNT RAINIER PATTERN BOOK (2018, M-NCPPC); CARTOON: MICROSOFT® POWERPOINT®

Maximum driveway width shall not exceed 12 feet.

27-4403(a)(5)(B)(iii)(aa)(IV)



IMAGES: MICROSOFT® POWERPOINT®

Lead walks providing access from the sidewalk or street to the front door of a dwelling shall not exceed four feet in width.

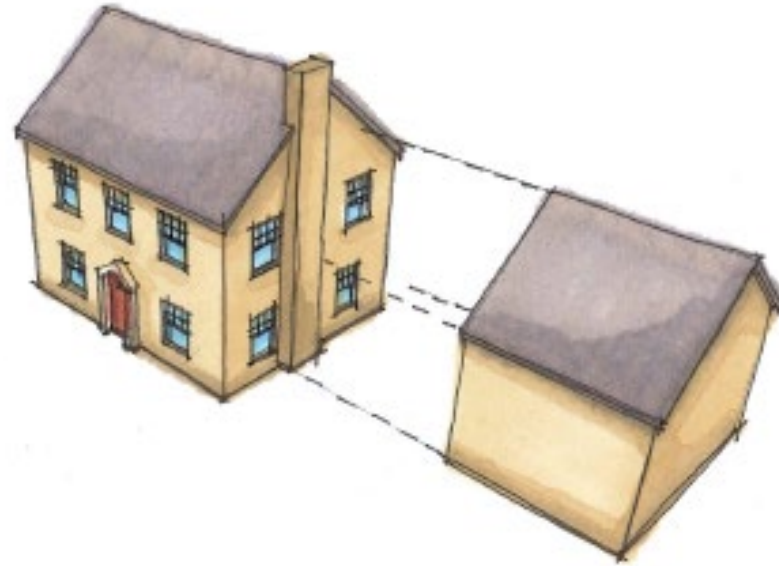
27-4403(a)(5)(B)(iii)(aa)(V)



SOURCE: MOUNT RAINIER PATTERN BOOK (2018, M-NCPPC)

Additions must be subordinate to the dwelling in massing and height.

27-4403(a)(5)(B)(iii)(aa)(VI)



SOURCE: *MOUNT RAINIER PATTERN BOOK* (2018, M-NCPPC)

Front additions that increase the gross floor area of the dwelling are not allowed, except for the addition of an open, covered front porch, in accordance with the standards for porches as set forth in Subsection 27-4403(a)(5)(B<sup>1</sup>)(iii)(bb)(V).

27-4403(a)(5)(B)(iii)(aa)(VII)



SOURCE: MOUNT RAINIER PATTERN BOOK (2018, M-NCPPC)

Additions shall not exceed the height of the existing dwelling. Any addition located on the side of an existing dwelling shall be set back a minimum of two feet from the plane of the front façade.

27-4403(a)(5)(B)(iii)(aa)(VIII)



SOURCE: *MOUNT RAINIER PATTERN BOOK* (2018, M-NCPPC)



# Design

27-4403(a)(5)(B)(iii)(bb)

# Roofs and Dormers

27-4403(a)(5)(B)(iii)(bb)

The pitch of roofs visible from a public right-of-way must be within a range of 6:12 and 12:12.

27-4403(a)(5)(B)(iii)(bb)(I)(a)

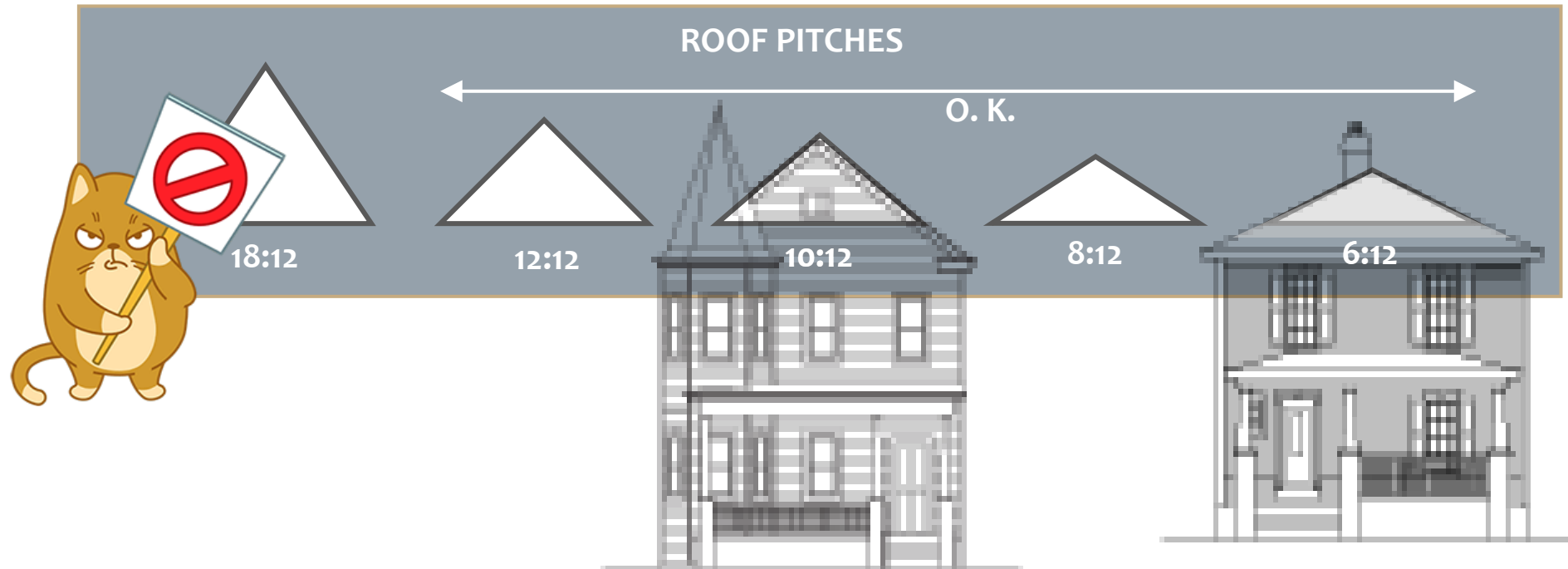


DIAGRAM AND DRAWINGS: ADAPTED FROM *MOUNT RAINIER PATTERN BOOK* (2018, M-NCPPC); CARTOON: MICROSOFT® POWERPOINT®

Expansion of an existing dormer or construction of a new dormer visible from a public right-of-way shall have a combined face of no more than 30 percent of the first story of the front façade, measured from the sill plate to the roof ridge.

27-4403(a)(5)(B)(iii)(bb)(l)(b)



PHOTO: 11/19/2020 CYCLOMEDIA; CARTOON: MICROSOFT® POWERPOINT®

Distinctive roof and eave elements such as brackets or finials shall be maintained or reconstructed in kind.

27-4403(a)(5)(B)(iii)(bb)(I)(c)



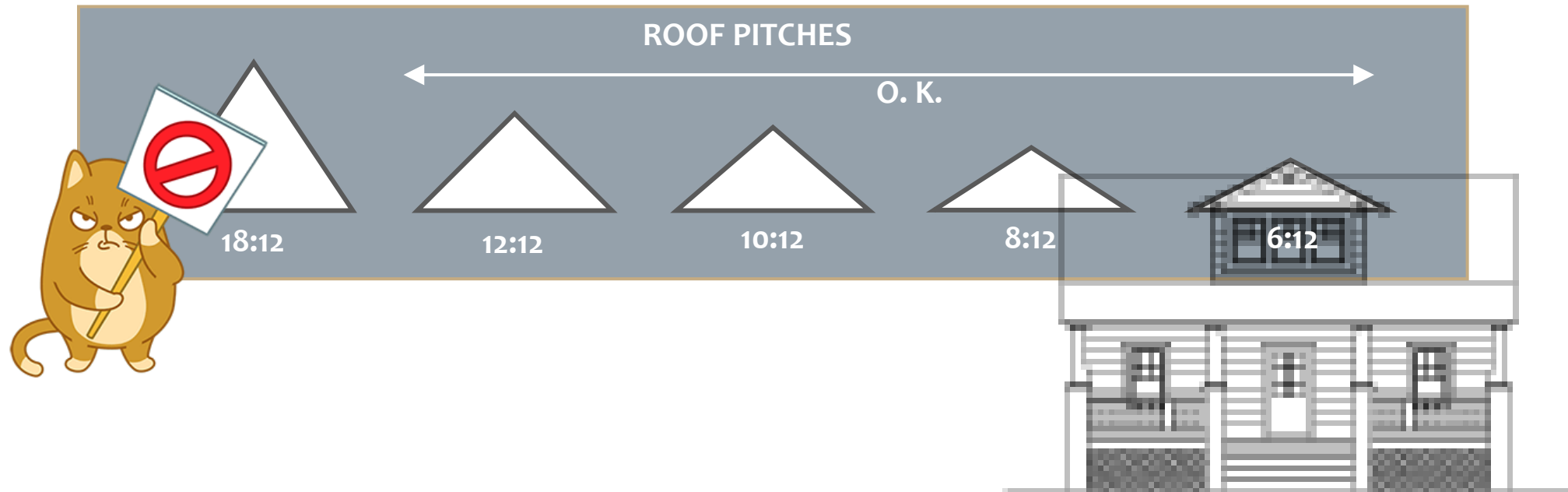
PHOTOS: *MOUNT RAINIER PATTERN BOOK* (2018, M-NCPPC)

The existing main roof ridgeline may be raised to permit additional habitable space, provided that, except on the rear of the structure, the original main roof's eave height is retained. Except for shed-style dormers, the roof pitch of dormers on the roof above the front façade must be within a range of 6:12 and 12:12.

27-4403(a)(5)(B)(iii)(bb)(l)(d)

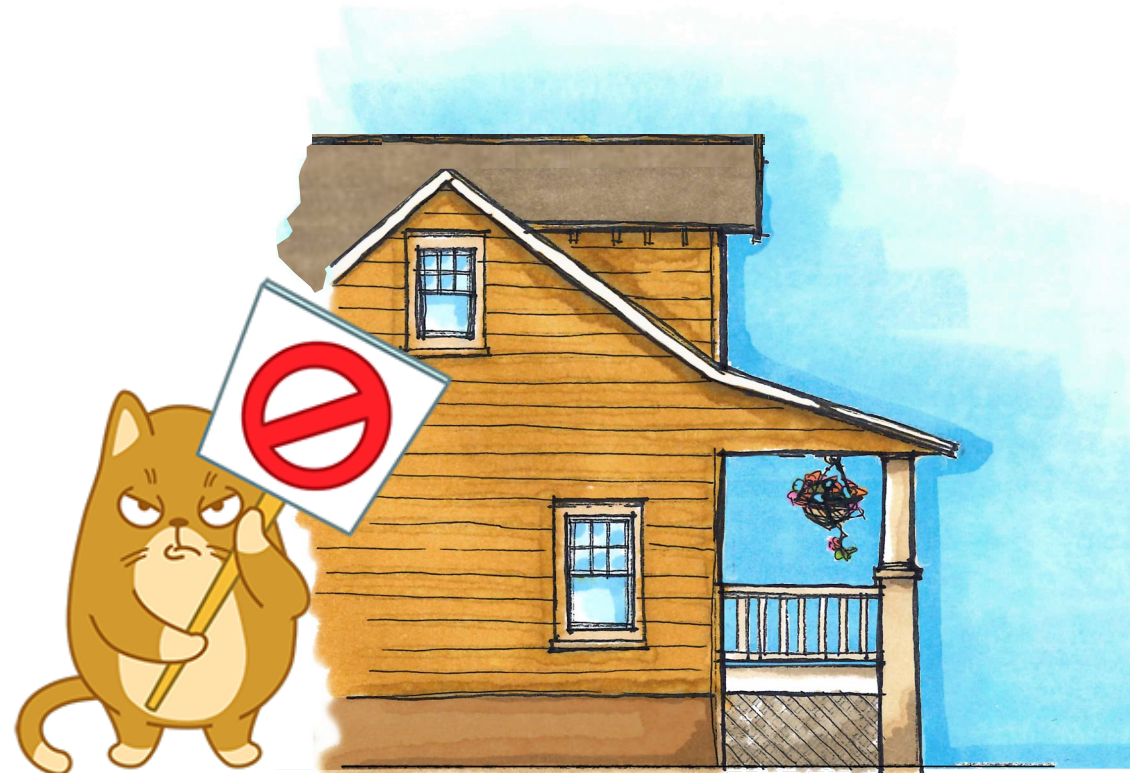
Gabled dormers must have roof slopes within a range of 6:12 and 12:12

27-4403(a)(5)(B)(iii)(bb)(l)(e)



Dormers shall not exceed the height of the main roof ridgeline.

27-4403(a)(5)(B)(iii)(bb)(l)(f)



DRAWING: ADAPTED FROM *MOUNT RAINIER PATTERN BOOK* (2018, M-NCPPC); CARTOON: MICROSOFT® POWERPOINT®

# Cladding

27-4403(a)(5)(B)(iii)(bb)(II)



Original sidewall treatments shall be retained or renewed. For example, original shingles shall not be covered with siding or vice-versa.

27-4403(a)(5)(B)(iii)(bb)(II)(a)



PHOTOS: *MOUNT RAINIER PATTERN BOOK* (2018, M-NCPPC)

Formstone, manufactured brick veneer, tile veneer, asphalt shingles, tar paper, and plywood siding are prohibited as cladding materials.

27-4403(a)(5)(B)(iii)(bb)(II)(b)

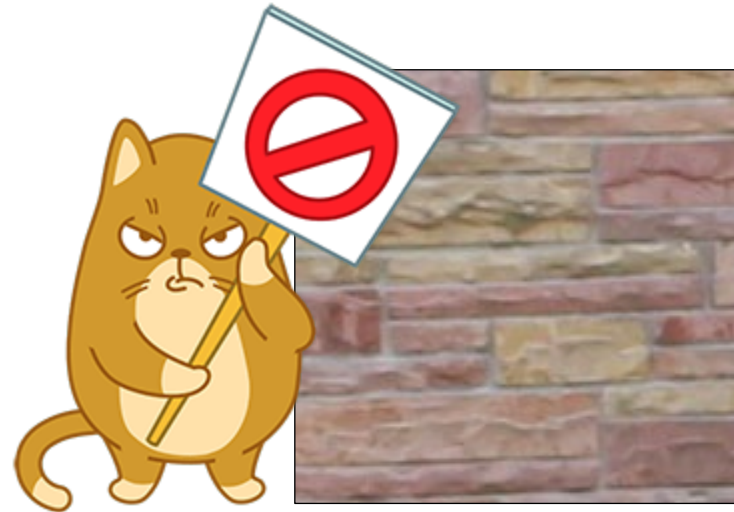


PHOTO: *MOUNT RAINIER PATTERN BOOK* (2018, M-NCPPC); CARTOON: MICROSOFT® POWERPOINT®

# Height

27-4403(a)(5)(B)(iii)(bb)(III)

Notwithstanding the height regulations of Part 4: Zones and Zone Regulations of this Zoning Ordinance, the height of additions or new structures shall be compatible with other structures on the same block but shall not exceed 35 feet.



PHOTO: 34th AND DATE STREET, 1920, *MOUNT RAINIER PATTERN BOOK* (2018, M-NCPPC), ORIGINAL PHOTO: THEODOR HORYDCZAK, LIBRARY OF CONGRESS

# Windows and Doors

27-4403(a)(5)(B)(iii)(bb)(IV)

Each level of the front façade of new dwellings shall have at least two windows, except the first level, where an entry door may be paired with a single window, and the roof, where there may be a single dormer window.

27-4403(a)(5)(B)(iii)(bb)(IV)(a)

Altering the style of, changing the type of, reducing the size of, or removing any windows on the front façade is prohibited, unless the original features or style of the building is being restored or maintained.

27-4403(a)(5)(B)(iii)(bb)(IV)(b)



DRAWINGS: MOUNT RAINIER PATTERN BOOK (2018, M-NCPPC)

Distinctive stylistic elements such as window and door casings common to original housing types in the zone shall be retained or reconstructed.

27-4403(a)(5)(B)(iii)(bb)(IV)(c)

Notwithstanding the standards in Subsections (IV)b. and (IV)c., above, windows on the front façade may be altered or removed to accommodate their enlargement or the construction of dormers.

27-4403(a)(5)(B)(iii)(bb)(IV)(d)



PHOTOS: MOUNT RAINIER PATTERN BOOK (2018, M-NCPPC)

# Porches

27-4403(a)(5)(B)(iii)(bb)(V)

Existing front porches shall be retained. In addition, the style and design of an existing front porch shall be retained and preserved, which includes the style and design of railings, posts, stairs, piers, and any decorative details, unless an alteration to the style and design of the existing front porch will restore the porch's original style and design. (For example, the restoration of an enclosed front porch to its original open configuration is allowed under this standard.)

27-4403(a)(5)(B)(iii)(bb)(v)(a)



DRAWING: MOUNT RAINIER PATTERN BOOK (2018, M-NCPPC)



Flooring of existing open porches visible from a public right-of-way shall be repaired or replaced in like materials and style, or in materials and style that can be demonstrated to be consistent with the original construction. Tongue-and-groove flooring shall be used for new or replacement porches.

27-4403(a)(5)(B)(iii)(bb)(V)(b)



PHOTO: *MOUNT RAINIER PATTERN BOOK* (2018, M-NCPPC)

Enclosure of rear porches is permitted. Porches shall only be screened with metal or vinyl-coated fiberglass screens. Screening must be installed so as not to obscure the character-defining features of the porch, including the railings, balusters, and columns.

27-4403(a)(5)(B)(iii)(bb)(V)(d)

A front porch is prohibited in the front yard setback, unless it would be compatible with the front façade setback of the existing blockface or the original front porch is being reconstructed in that location.

27-4403(a)(5)(B)(iii)(bb)(V)(e)



PHOTO: MOUNT RAINIER PATTERN BOOK (2018, M-NCPPC)

# Sidewalks

Sidewalks, including lead walks between street sidewalks and the entrances of dwellings shall not be paved with asphalt surfacing.

27-4403(a)(5)(B)(iii)(bb)(VI)



SOURCE: *MOUNT RAINIER PATTERN BOOK* (2018, M-NCPPC)

# Retaining Walls

Retaining walls higher than two feet and visible from the public right-of-way shall not be constructed with pressure-treated lumber or bare concrete masonry units (e.g., cinderblock).<sup>3</sup>

27-4403(a)(5)(B)(iii)(bb)(VII)



IMAGE: MOUNT RAINIER PATTERN BOOK (2018, M-NCPPC)

# Accessory Structures

27-4403(a)(5)(B)(iii)(cc)

General setbacks for accessory structures shall comply with the following:

- a. Side yard: two feet minimum on each side.
- b. Rear yard: two feet minimum from the rear property line.

27-4403(a)(5)(B)(iii)(cc)(l)

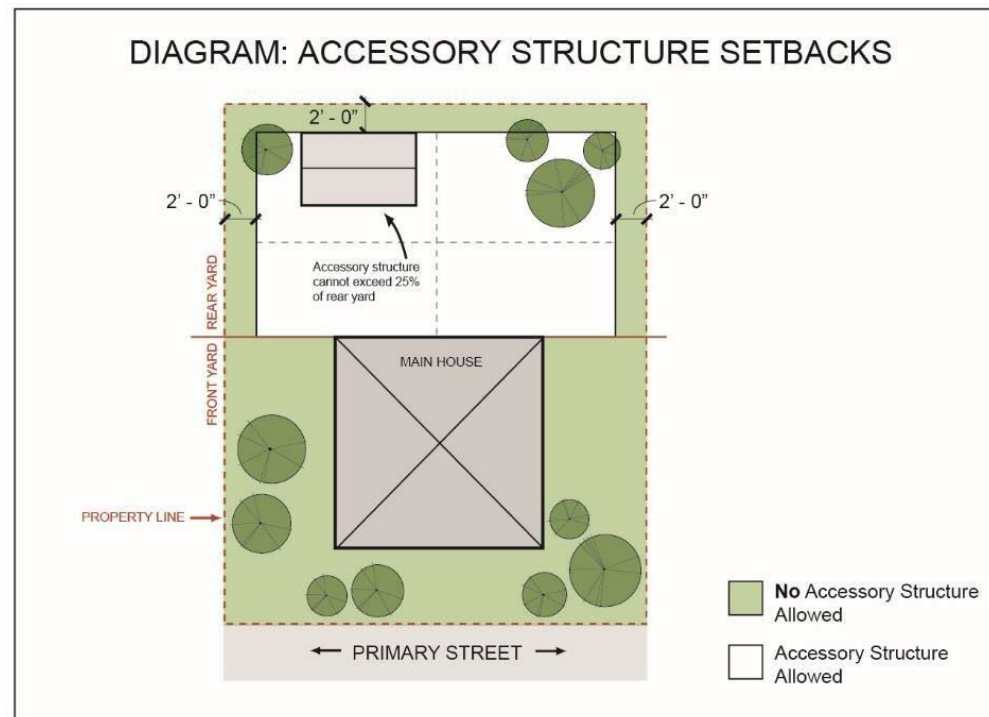


Figure 27-4403(a)(5)(B<sup>4</sup>)(iii)(cc), Accessory Structure Setbacks. SOURCE: PRINCE GEORGE'S COUNTY ZONING ORDINANCE

<sup>4</sup> enCodePlus discrepancy: code cites "A"

The sum of all accessory structures on a lot shall not cover more than 25 percent of the rear yard. See Figure 27-4403(a)(5)(B<sup>5</sup>)(iii)(cc), Accessory Structure Setbacks.

27-4403(a)(5)(B)(iii)(cc)(II)

<sup>5</sup> enCodePlus discrepancy: code cites “A”

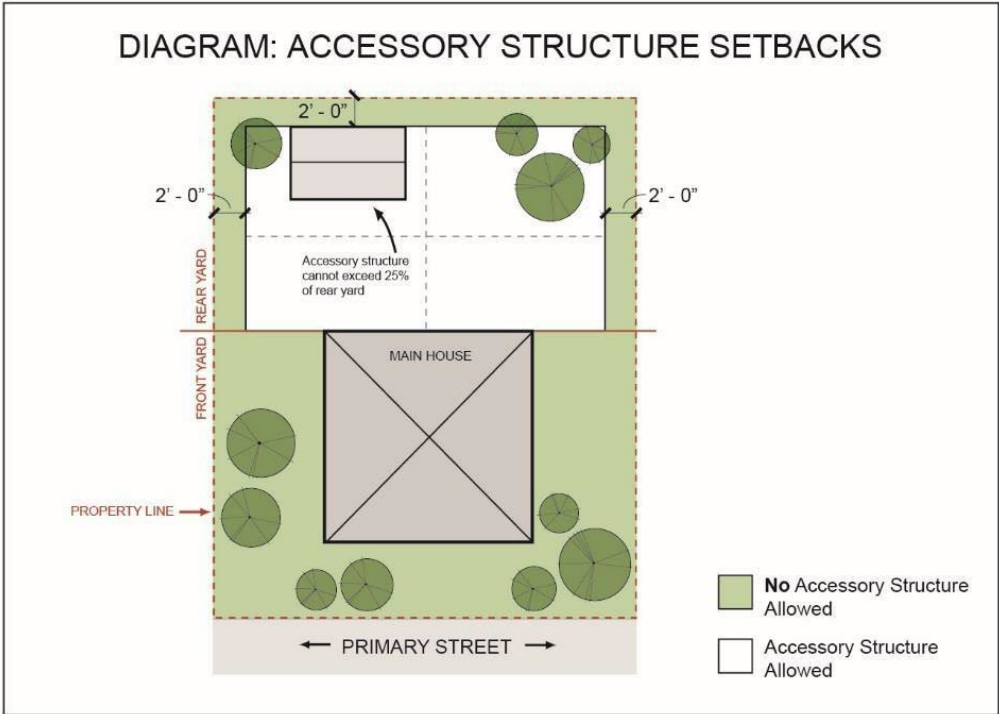


Figure 27-4403(a)(5)(B<sup>6</sup>)(iii)(cc), Accessory Structure Setbacks. SOURCE: PRINCE GEORGE'S COUNTY ZONING ORDINANCE

<sup>6</sup> enCodePlus discrepancy: code cites “A”

Under no circumstance shall an accessory building exceed the size or height of the principal building on the lot.

27-4403(a)(5)(B)(iii)(cc)(III)

The roof pitch of accessory structures shall not exceed 12:12.

27-4403(a)(5)(B)(iii)(cc)(IV)

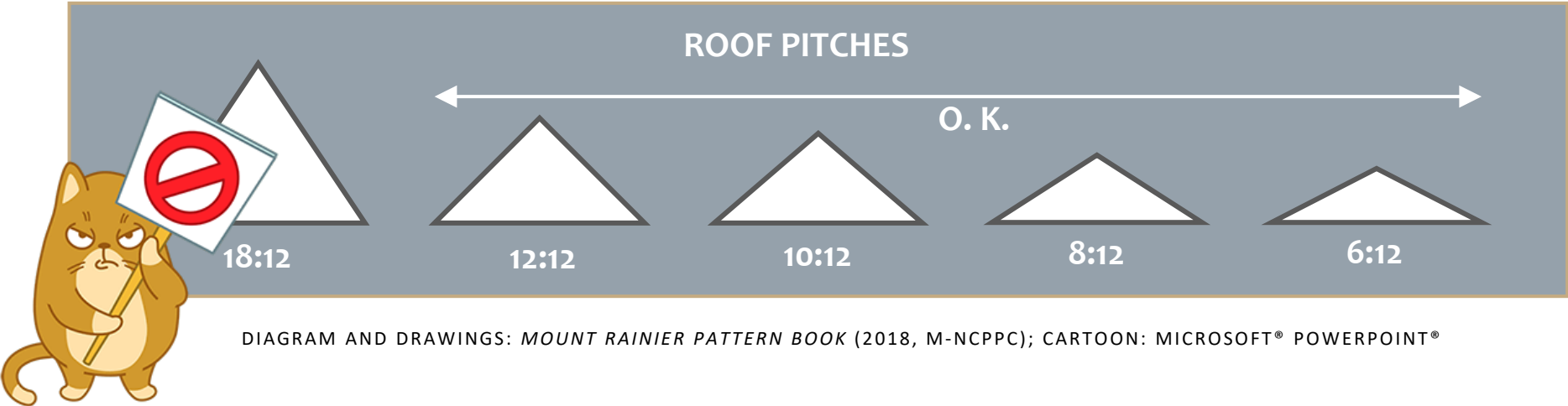


DIAGRAM AND DRAWINGS: MOUNT RAINIER PATTERN BOOK (2018, M-NCPPC); CARTOON: MICROSOFT® POWERPOINT®





# MOUNT RAINIER

## Neighborhood Conservation Overlay Zone

 MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
Prince George's County Planning Department